

# Floor Plan

1:100

# NDIS 12.5 x 30

Dales Specification  
High Physical Support

Ground Floor	175.41
Garage	32.82
Alfresco	12.16
Porch	4.08
<b>Total:</b>	<b>224.47 m<sup>2</sup></b>
Perimeter:	66.360m

**2c Brickwork**  
2c brickwork laid 1/3 bond to entire home (refer to plan for render extents)

**31c ceiling throughout home**  
(unless otherwise noted)

### Zoning RMD25

Lot Area: 375m<sup>2</sup>  
No max site cover applicable.

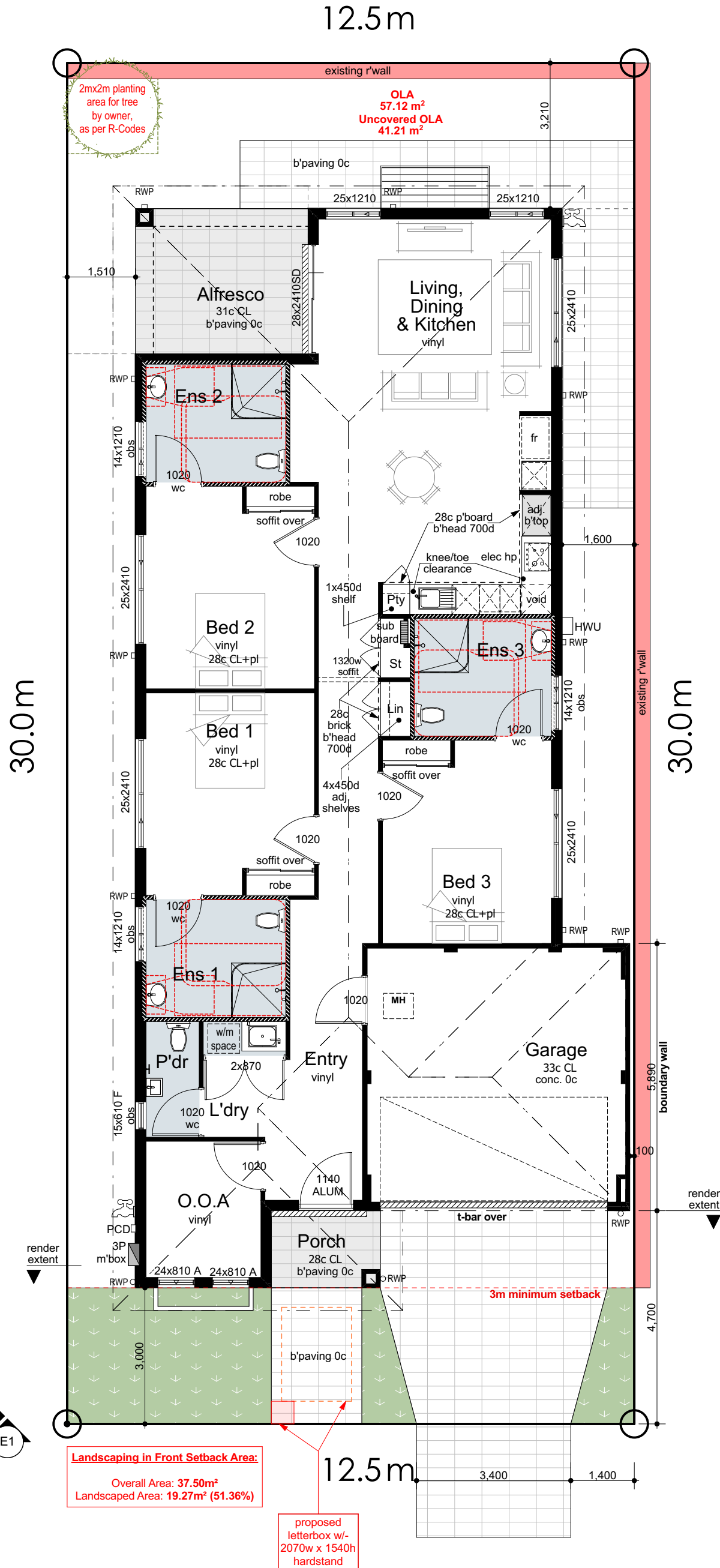
Mandatory Design Compliance  
(City of Wanneroo & Garden Park Grove Estate)

**Preliminary drawing:**  
This design is subject to receipt of an accurate site survey & dimensions.

**Miscellaneous:**  
- BAL fire rating req's: TBA  
- Noise attenuation req's: N/A

**Developer Req's:**  
- 2 render colours required  
- Eaves at min 28c high at 450mm wide  
- Garage min 0.5m behind facade

- Developer Approval
- Planning Required



Page 1 of 2

CLIENT: Jalal Rafieshahraki ATF Shahraki's Family Trust

ADDRESS: Lot 110 Vincent Road SINAGRA

JOB NUMBER: 57088

CONSULTANT: Jason Burns

CONCEPT#: 1  
14/12/2022 JM

CLIENT: *Jason Burns* 15-Dec-2022

CLIENT: *Jason Burns* 14-Dec-2022

BUILDER: \_\_\_\_\_

© This design is the sole property of ABN Residential WA Pty. Ltd. trading as Dale Alcock Homes and there is no implied license of its use for any purpose. BC5409

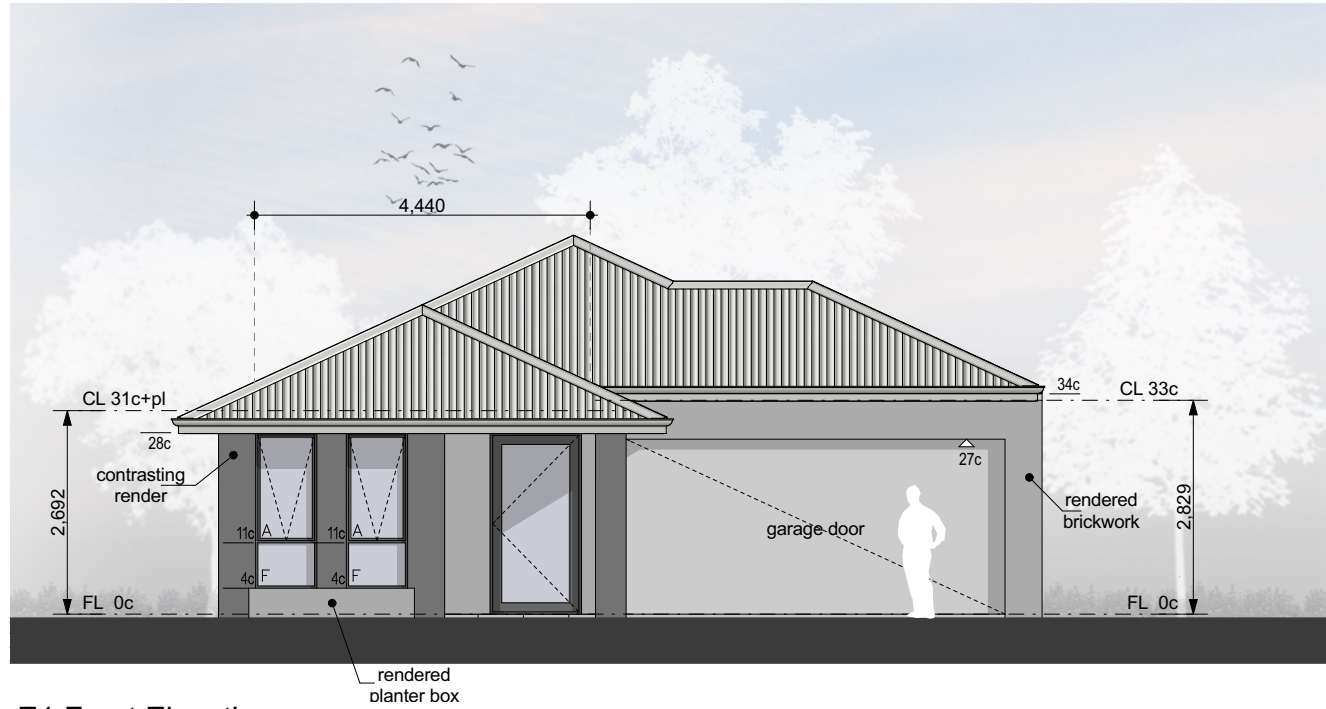


# Elevations

Roofing Note  
24°43' Roof Pitch  
Metal Roof

# NDIS 12.5 x 30

Dales Specification  
High Physical  
Support



**E1 Front Elevation**  
1:100



CLIENT: Jalal Rafieshahraki ATF Shahraki's Family Trust  
 ADDRESS: Lot 110 Vincent Road SINAGRA  
 JOB NUMBER: 57088  
 CONSULTANT: Jason Burns  
BIMcloud: ABN BIM CLOUD - BIMcloud/WA/DAH/Job/57000/57088/Design/57088\_1

CONCEPT#: 1  
 14/12/2022 JM

CLIENT: *S.R. Smith* 14-Dec-2022  
 CLIENT: *Jason Burns* 14-Dec-2022  
 BUILDER: \_\_\_\_\_

© This design is the sole property of ABN Residential WA Pty. Ltd. trading as Dale Alcock Homes and there is no implied license of its use for any purpose. BC5409

